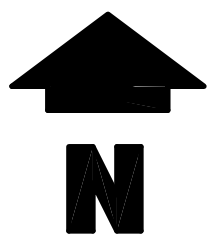


HARRIS & CURRENS STOREFRONT FACADE REPAIRS

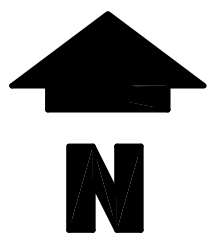
9 W MAIN ST
MOORESVILLE, IN 46158



VICINITY MAP



LOCATION MAP



BY
ARSEE ENGINEERS, Inc.

CLIENT ORIENTED — BY DESIGN
9715 KINCAID DRIVE, SUITE 100 317/594-5152 PHONE
FISHERS, INDIANA 46037-9459 317/594-9590 FAX

JANUARY 15, 2025



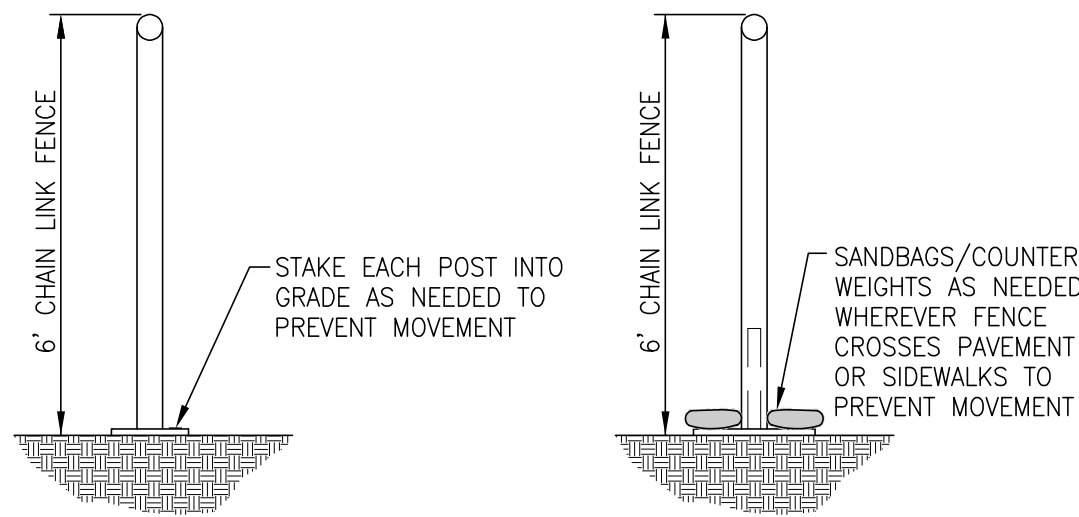
GENERAL NOTES:

1. THESE NOTES ARE WRITTEN IN IMPERATIVE MOOD AND STREAMLINED FORM. THIS IMPERATIVE LANGUAGE IS DIRECTED TO THE CONTRACTOR, UNLESS SPECIFICALLY NOTED OTHERWISE. THE WORDS "SHALL BE" ARE INCLUDED BY INFERENCE WHERE A COLON (:) IS USED WITHIN SENTENCES OR PHRASES.
2. GIVE NOTICES AND COMPLY WITH LAWS, STATUTES, ORDINANCES, CODES, RULES, REGULATIONS AND LAWFUL ORDERS OF PUBLIC AUTHORITIES HAVING JURISDICTION ON THE PERFORMANCE OF THE WORK.
3. SECURE AND PAY FOR PERMITS, GOVERNMENTAL FEES, LICENSES AND INSPECTIONS NECESSARY FOR THE LAWFUL EXECUTION AND COMPLETION OF THE WORK, UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS.
4. NOTIFY ENGINEER AND OWNER IMMEDIATELY IF UNKNOWN CONDITIONS, UTILITIES OR STRUCTURES ARE ENCOUNTERED DURING WORK.
5. VERIFY DIMENSIONS AND ELEVATIONS SHOWN ON DRAWINGS WITH EXISTING CONDITIONS. REPORT DISCREPANCIES FOUND BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS TO ENGINEER BEFORE CONSTRUCTION.
6. REPORT TO ENGINEER CONDITIONS WHICH PREVENT THE WORK FROM BEING INSTALLED ACCORDING TO THIS DOCUMENT.
7. WORK THAT GENERATES DUST SHALL BE PERFORMED IN STRICT COMPLIANCE WITH OSHA REGULATIONS. UTILIZE WET METHODS, VACUUM SYSTEMS OR BOTH TO PREVENT DUST TRAVEL BEYOND PROJECT AREA.
8. INSTALL MATERIALS AND PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS UNLESS NOTED OTHERWISE.
9. REFERENCE STANDARDS: COMPLY WITH THE STANDARDS IN EFFECT AS OF DATE OF THIS DOCUMENT UNLESS OTHERWISE INDICATED.
10. CARE SHALL BE TAKEN TO PREVENT ANY AIR-BORNE OR WATER-BORNE CHEMICALS FROM TOUCHING OR DAMAGING LANDSCAPING OR ANY OTHER ADJACENT BUILDING, LANDSCAPING OR HARDSCAPE FEATURES.
11. CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY PROTECTION FOR NEARBY VEHICLES, PEDESTRIANS, BUILDINGS, EQUIPMENT AND FINISHES TO REMAIN.
12. CONTRACTOR SHALL PROTECT THE EXISTING STRUCTURE AGAINST THE INTRUSION OF MOISTURE AT ALL TIMES.
13. IT SHALL BE IMPERATIVE THAT ALL NEW WORK MATCH THE ORIGINAL FINISHES IN COLOR, SIZE AND TEXTURE WHEN COMPLETED, UNLESS NOTED OTHERWISE.

DRAWING INDEX

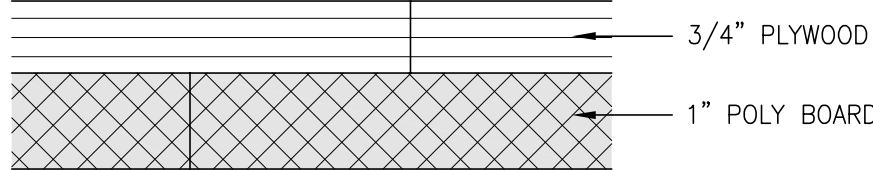
COVER	GENERAL NOTES
SP100	SITE PLAN
D201	NORTH ELEVATION FACADE DEMOLITION
R201	NORTH ELEVATION FACADE REPAIRS
R202	EAST & WEST ELEVATION FACADE REPAIRS
R203	NORTH WALL FRAMING & WALL ASSEMBLY
R204	NORTH WALL SECTIONS

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**CHAIN LINK FENCE
INSTALLATION DETAILS**

1. ALL FENCING AND OVERHEAD PROTECTION MUST BE INSTALLED AROUND ACTIVE WORK AREAS PRIOR TO THE START OF WORK
2. VISION BLOCK FABRIC LINER SHALL BE INSTALLED ON ALL FENCING
3. COORDINATE FINAL FENCING LOCATIONS WITH THE OWNER'S REPRESENTATIVE AT THE PRE-CONSTRUCTION MEETING



CONTRACTOR WORK AND LAY DOWN AREAS TO BE APPROVED BY OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THE EXISTING ROOF MEMBRANE THROUGHOUT THE DURATION OF THE PROJECT. MINIMUM PROTECTION SHALL BE 1" OF POLY BOARD AND THEN 3/4" PLYWOOD BUTTED TIGHTLY TOGETHER TO PREVENT PUNCTURE OF THE ROOF MEMBRANE. ADDITIONAL ROOF PROTECTION MAY BE DESIGNATED BY THE OWNER. SUCH PROTECTION SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER. AN APPROVED ROOF PROTECTION SYSTEM MUST BE INSTALLED PRIOR TO THE PLACEMENT OF MATERIALS OR EQUIPMENT ON THE ROOF.

MINIMUM ROOF PROTECTION DETAIL

N.T.S.

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317/594-5152 PHONE
317/594-9590 FAX

CERTIFIED BY

REGISTERED
No. PE11500318
STATE OF INDIANA
PROFESSIONAL ENGINEER

HARRIS & CURRENS
STOREFRONT FACADE REPAIRS
9 WEST MAIN STREET
MOORESVILLE, INDIANA

SYM.	REVISION	DATE

TITLE

SITE PLAN

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BRW

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JND

SCALE

AS NOTED

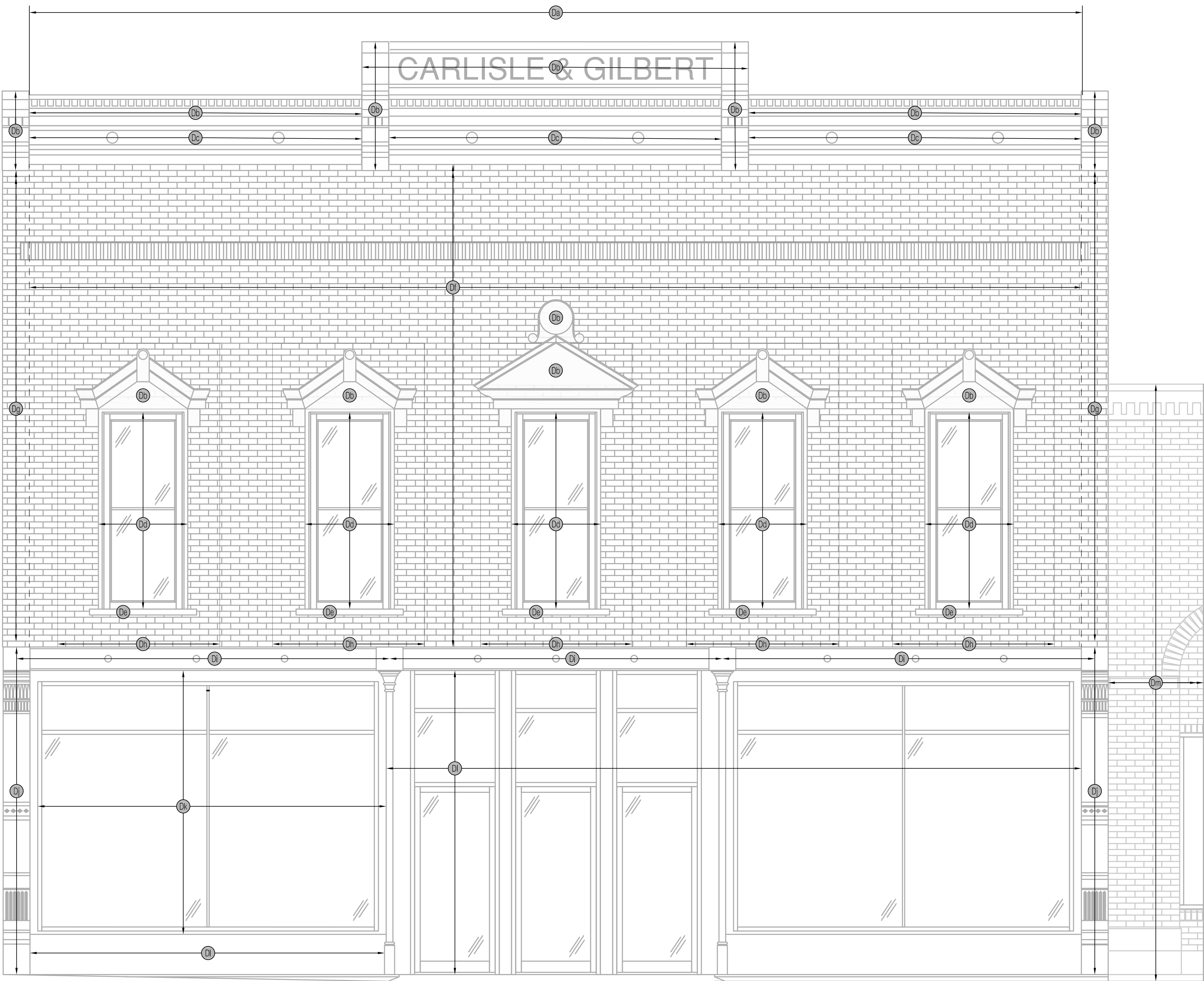
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NORTH ELEVATION – DEMOLITION

1/2"=1'-0"

FIELD MEASURE AND PHOTO DOCUMENT ALL COMPONENTS AND ASSEMBLIES OF NORTH FACADE IN DETAIL PRIOR TO DEMOLITION TO ENSURE THAT EXISTING CONFIGURATIONS MAY BE ACCURATELY REPRODUCED. THE INTENT IS TO MATCH EXISTING EXPOSED MASONRY UNIT SIZES, MASONRY COURSING PATTERNS, DECORATIVE SHEET METAL CONFIGURATIONS AND PAINT / COATING COLOR SCHEMES AND TEXTURES.

FACADE DEMOLITION KEYNOTES

- Da – REMOVE PARAPET AND ROOF EDGE FLASHINGS TO THE EXTENT REQUIRED. PROVIDE TEMPORARY ROOFING TO PROTECT THE BUILDING AGAINST WATER INFILTRATION
- Db – REMOVE AND SALVAGE DECORATIVE SHEET METAL ASSEMBLY
- Dc – REMOVE AND SALVAGE DECORATIVE WOOD TRIM
- Dd – REMOVE AND SALVAGE WOOD FRAMED WINDOW INCLUDING INTERIOR / EXTERIOR TRIMWORK / SURROUND
- De – REMOVE AND SALVAGE STONE SILL
- Df – DEMOLISH MULTIPLY THE BRICK MASONRY WALL COMPLETE
- Dg – REMOVE FACE BRICK (OUTER WYTHE) AT NORTH END OF EXISTING EAST AND WEST EXTERIOR MASONRY WALL
- Dh – DEMOLISH MORTAR WASH FROM ATOP STEEL BEAM
- Di – STABILIZE EXISTING TWO LAYER STEEL BEAM ASSEMBLY IN PLACE
- Dj – REMOVE AND SALVAGE DECORATIVE CAST IRON PILASTER. REMOVE DAMAGED / DETERIORATED MASONRY BACKUP
- Dk – REMOVE AND SALVAGE STOREFRONT ASSEMBLY AND PERIMETER TRIM / BLOCKING TO THE EXTENT REQ'D TO CORRECT ALIGNMENT
- Dl – PROTECT EXISTING STOREFRONT FACADE IN PLACE
- Dm – PROTECT ADJACENT EXISTING BUILDING FACADE IN PLACE

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CERTIFIED BY

BRYAN R. WILSON
REGISTERED
No. PE11500318
STATE OF INDIANA
PROFESSIONAL ENGINEER

HARRIS & CURRENS
STOREFRONT FACADE REPAIRS
9 WEST MAIN STREET
MOORESVILLE, INDIANA

SYM.	REVISION	DATE

TITLE

NORTH ELEVATION
FACADE DEMOLITION

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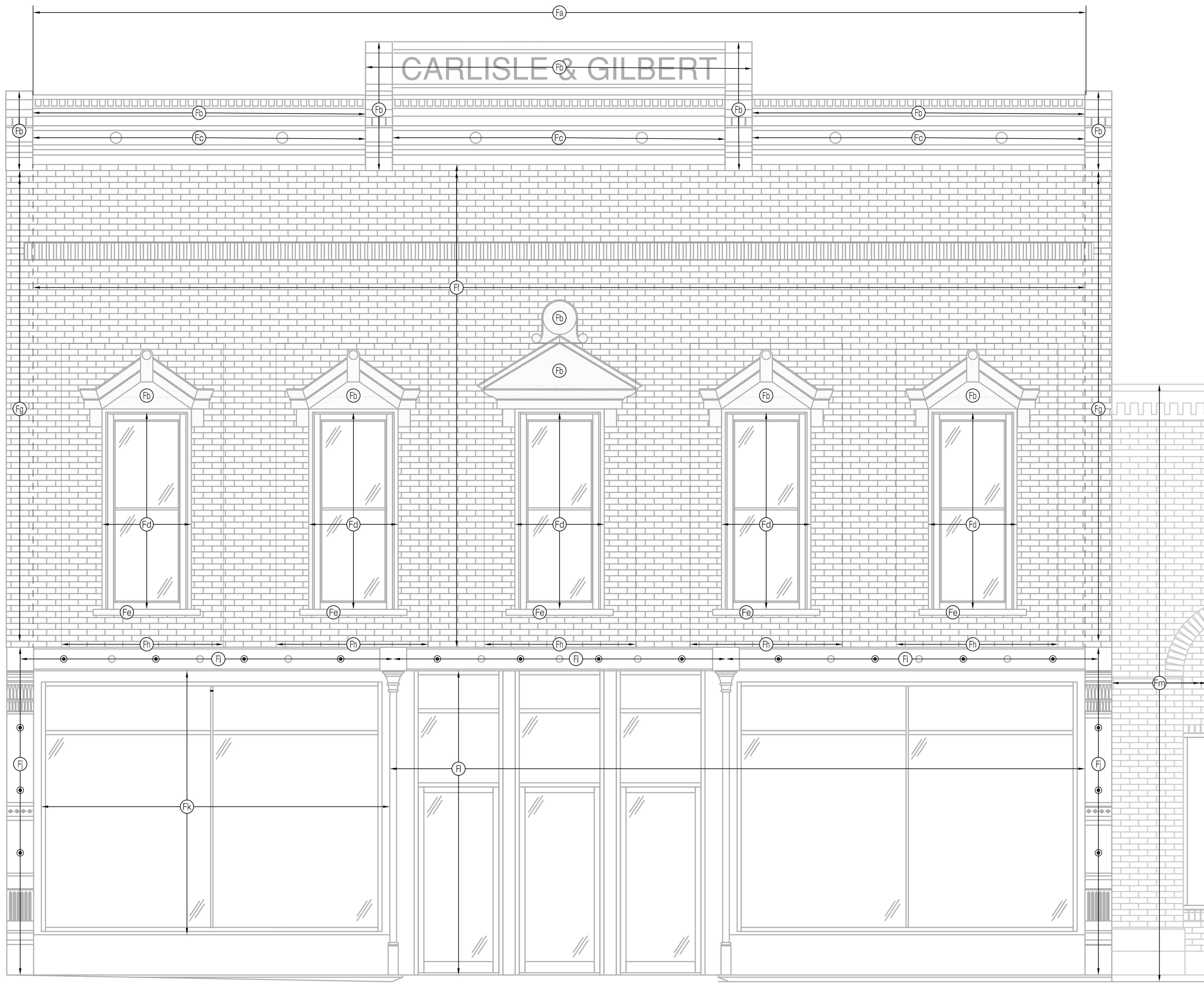
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NORTH ELEVATION - PROPOSED

1/2"=1'-0"

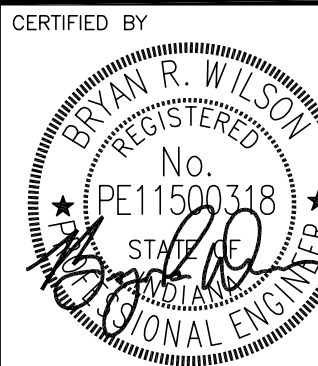
NEW MASONRY VENEER AND FACE BRICK SHALL MATCH THE DEMOLISHED FACE BRICK DIMENSIONS AND COURSING PATTERNS. NEW EXTERIOR MASONRY SHALL BE FINISHED WITH CEMENTITIOUS COATING.

NEW PAINT COLORS AND SHEENS ON ALL NEW AND SALVAGED DECORATIVE METAL AND WOODWORK SHALL MATCH THE ORIGINAL

FACADE REPAIR KEYNOTES

- (Fa) - INSTALL NEW PARAPET FRAMING, SHEATHING AND ROOF FLASHING ASSEMBLY TO TIE INTO EXISTING ROOF EDGE AND LAP OVER TOP OF SALVAGED DECORATIVE METAL CORNICE ASSEMBLY
- (Fb) - CLEAN, REPAIR, REPAINT AND REINSTALL SALVAGED DECORATIVE METAL WITH NEW TREATED WOOD FRAMING / BLOCKING, TREATED WOOD SHEATHING, UNDERLAYMENT AND SLIP SHEET BACKUP AS REQUIRED TO SECURE TO NEW EXTERIOR WALL ASSEMBLY.
- (Fc) - CLEAN, REPAIR, REPAINT AND REINSTALL SALVAGED DECORATIVE WOOD TRIM WITH NEW TREATED WOOD BLOCKING AS REQUIRED TO SECURE TO NEW EXTERIOR WALL ASSEMBLY.
- (Fd) - CLEAN, REPAIR AND REPAINT WOOD FRAMED WINDOW INCLUDING EXTERIOR TRIMWORK / SURROUND
- (Fe) - CLEAN, REPAINT AND REINSTALL STONE SILL WITH NEW THROUGH WALL FLASHING ASSEMBLY
- (Ff) - NEW BRICK VENEER OVER WOOD STUD BACKUP EXTERIOR WALL ASSEMBLY WITH CEMENTITIOUS COATING EXTERIOR FINISH
- (Fg) - INSTALL NEW FACE BRICK AT NORTH END OF EAST AND WEST EXTERIOR WALLS AND ISOLATE FROM NEW MASONRY VENEER WALL ASSEMBLY WITH VERTICAL SEALANT JOINT
- (Fh) - FURNISH AND INSTALL THROUGH WALL FLASHING AT BASE OF NEW MASONRY VENEER WALL AND ATOP EXISTING STEEL BEAM ASSEMBLY
- (Fi) - CLEAN, REPAIR, AND REPAINT ALL UNCOVERED AND EXPOSED SURFACES OF EXISTING TWO LAYER STEEL BEAM ASSEMBLY. INSTALL SUPPLEMENTAL STEEL ANCHOR RODS TO TIE BACK TO EXISTING 2ND FLOOR JOISTS PER DETAILS.
- (Fj) - CLEAN, REPAINT AND REINSTALL DECORATIVE CAST IRON PILASTER OVER REPAIRED / RECONSTRUCTED MASONRY BACKUP WITH SUPPLEMENTAL ANCHORS PER DETAILS.
- (Fk) - REINSTALL SALVAGED STOREFRONT ASSEMBLY AND PERIMETER TRIM / BLOCKING TO CORRECT ALIGNMENT. CLEAN AND REPAINT ALL PAINTED TRIM COMPONENTS
- (Fl) - CLEAN AND REPAINT ALL EXPOSED SURFACES OF EXISTING PAINTED STOREFRONT FACADE COMPONENTS IN PLACE
- (Fm) - PROTECT ADJACENT EXISTING BUILDING FACADE IN PLACE

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HARRIS & CURRENS
STOREFRONT FACADE REPAIRS
9 WEST MAIN STREET
MOORESVILLE, INDIANA

SYM.	REVISION	DATE

TITLE
NORTH ELEVATION
FACADE REPAIRS

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BRW

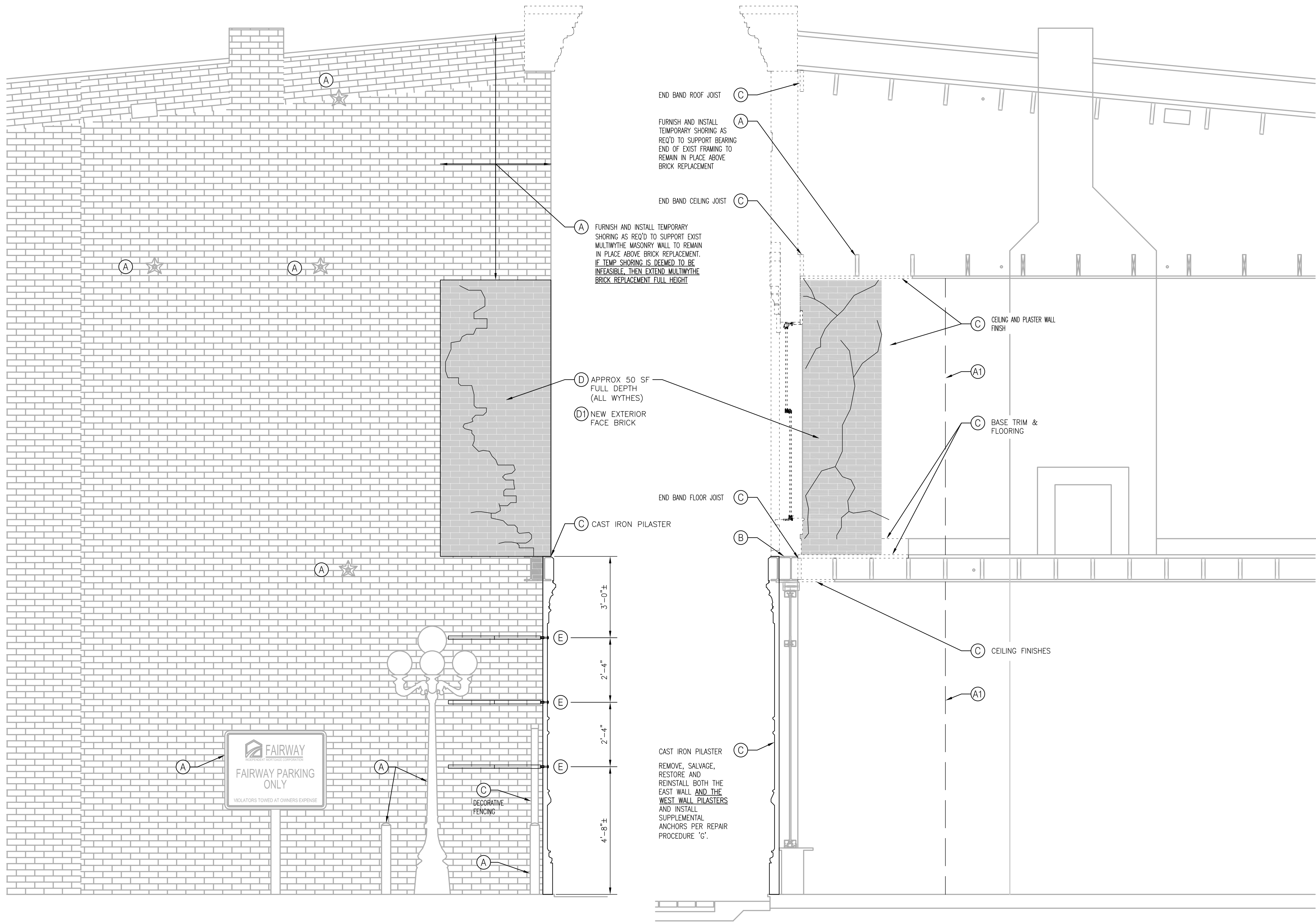
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EAST ELEVATION - PROPOSED

1/2"=1'-0"

(WEST WALL REPAIRS ARE SIMILAR ABOVE ROOFLINE OF 11 W MAIN ST)

EAST WALL INTERIOR ELEVATION - PROPOSED

1/2"=1'-0"

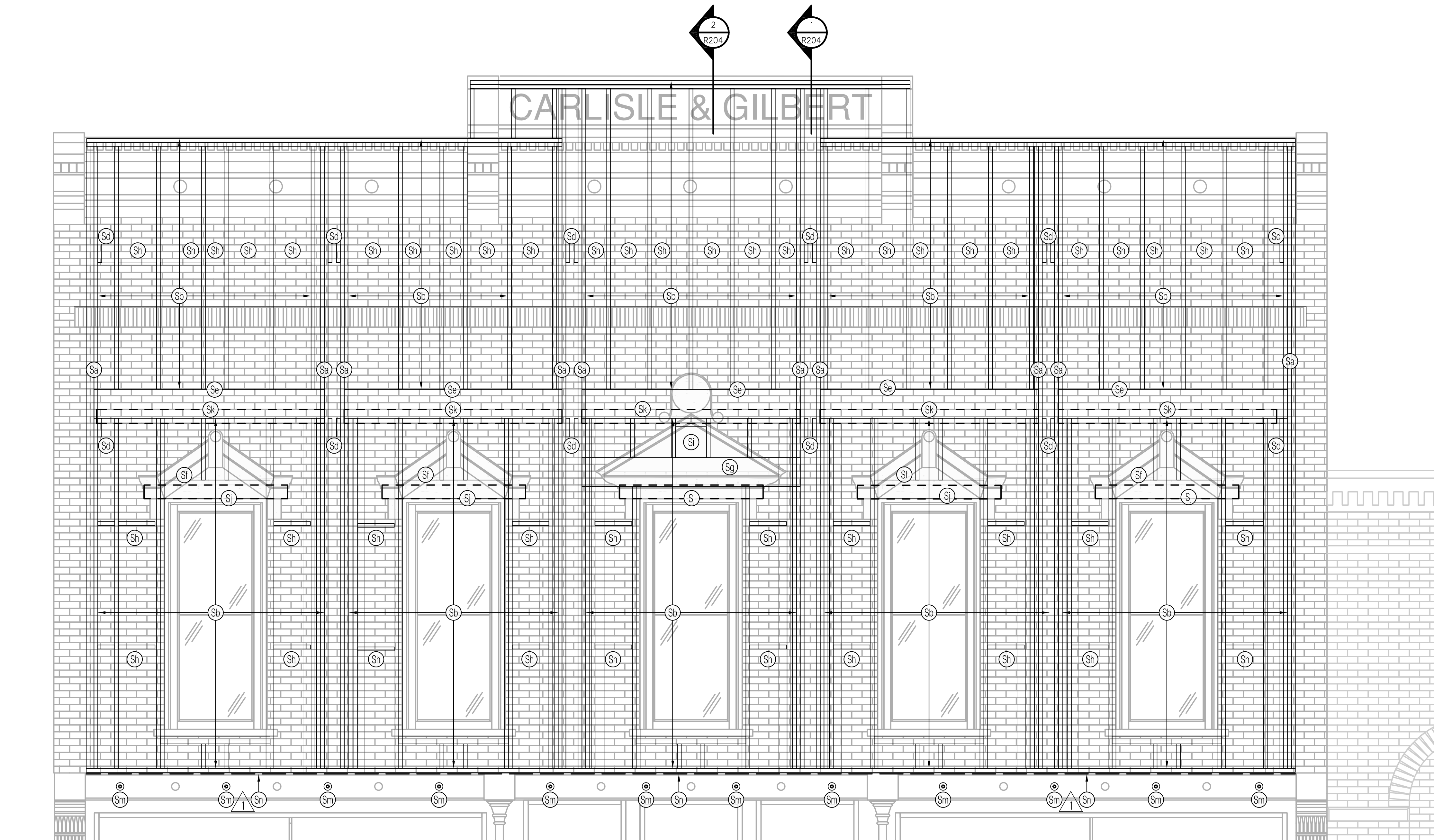
(WEST WALL REPAIRS ARE SIMILAR ABOVE ROOFLINE OF 11 W MAIN ST)

EAST & WEST WALL REPAIR KEYNOTES

- (A) - PROTECT EXISTING BUILDING / SITE COMPONENTS TO REMAIN
- (A1) - FURNISH, INSTALL & MAINTAIN ENCLOSURE AROUND WORK AREA
- (B) - FURNISH, INSTALL AND MAINTAIN TEMPORARY STOREFRONT BEAM BRACING ASSEMBLY AS REQUIRED
- (C) - REMOVE, SALVAGE AND REINSTALL EXISTING BUILDING COMPONENTS AS REQUIRED TO FACILITATE REPAIRS OR REMOVE AND REPLACE IN KIND
- (D) - FURNISH & INSTALL SUPPLEMENTAL HORIZONTAL JOINT REINFORCEMENT PER MFRS INSTRUCTIONS. HELICAL ROD TO BE BENT TO FORM A CONTINUOUS 'U' SHAPE AT NE CORNER TRANSITION FROM EXTERIOR TO INTERIOR.
- (D1) - PREPARE AND COAT EXTERIOR MASONRY WALL SURFACES PER CEMENTITIOUS COATING MFRS INSTRUCTIONS FOLLOWING REPAIRS.
- (E) - CORE DRILL 1-1/2"x3'-4" HOLE CENTERED THROUGH END OF MASONRY WALL AND PREPARE HOLE PER MFRS INSTRUCTIONS.
- FURNISH & INSTALL 40" LONG HEAVY DUTY GROUT-INJECTION SOCK ANCHORING SYSTEM.
- GROUT SOCK FULL TO REFUSAL.
- INSTALL HOT-DIP GALV HEX COUPLING NUT ON THREADED END OF ANCHOR.
- DRILL CAST IRON PILASTER TO ALIGN WITH SOCK ANCHOR
- INSTALL HOT-DIP GALV F3125 GRADE A325 BOLT AND PLATE WASHER AND THREAD ONTO COUPLING NUT
- COAT EXPOSED BOLT HEAD TO MATCH PILASTER. PREFERRED COATING MATERIAL IS SHERWIN WILLIAMS MACROPOXY 646FC

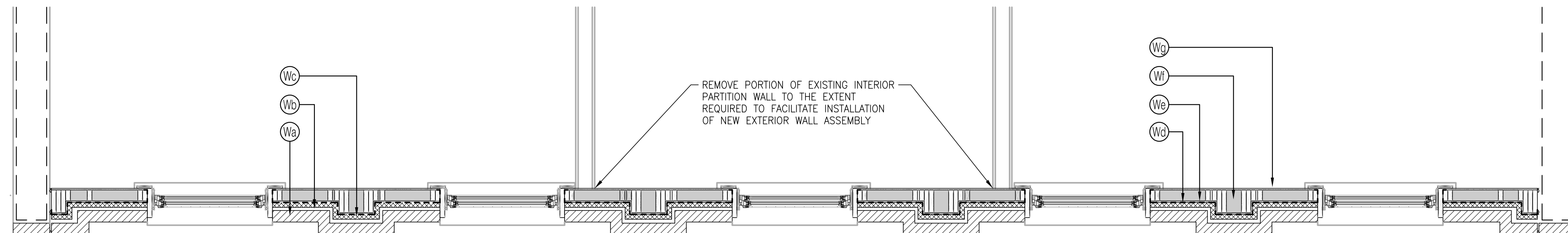
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NORTH ELEVATION – FRAMING

1/2"=1'-0"



PARTIAL PLAN – NORTH WALL ASSEMBLY

1/2"=1'-0"

1/2" MINIMUM EXPOSURE 1, STRUCTURAL 1 PLYWOOD SHEATHING

FACADE FRAMING KEYNOTES

- (Sa) – 2x8 STUD FRAMING (FULL HT)
- (Sb) – 2x8@16 STUD FRAMING
- (Sc) – 2x4@16 STUD FRAMING
- (Sd) – 2x8 TIEBACK TO 3 JOISTS MINIMUM
- (Se) – 7 1/4x11 1/4 2.0E LVL
- (Sf) – 2 PLY 2x8 w/ 1/2" PLYWOOD INTERPLY FILLER
- (Sg) – 3 1/2x11 1/4 2.0E LVL
- (Sh) – FULL DEPTH BLOCKING
- (Si) – BRG END EXIST TIMBER ROOF BM
- (Sj) – L6x4x5/16 LLH LOOSE LINTEL 8" BRG EA END (HDG & COATED ON EXPOSED SURFACES)
- (Sk) – L8x6x7/16 LINTEL LLV (HDG & COATED ON EXPOSED SURFACES) THROUGH BOLTED TO LVL @ 2'-0" o.c.
- (Sm) – ASTM A36 3/4" THRD ANCHOR ROD W/ PLATE WASHERS AND NUTS. CENTER B/W EXIST ROSETTES AND BEAM END BEARINGS
- (Sn) – ASTM A36 PL3/8x1'-2" CONTINUOUS CAP PLATE HDG

WALL ASSEMBLY KEYNOTES

- (Wa) – BRICK VENEER W/ CEMENTITIOUS COATING (WEEPS AT FLASHINGS @ 2' o.c. / VENTS @ T/WALL SEGMENTS @ 2' o.c.)
- (Wb) – 1" AIR CAVITY. INSTALL MORTAR NET ABOVE THROUGH WALL FLASHINGS
- (Wc) – 1-1/2 XPS CONTINUOUS INSULATION
- (Wd) – COMMERCIAL BUILDING WRAP (FLEXIBLE FLASHINGS W/ MTL DRIP AT LINTELS)
- (We) – TREATED PLYWOOD SHEATHING
- (Wf) – WOOD STUD FRAMING W/ KRAFT FACED BATT INSULATION
- (Wg) – 5/8" TYPE X DRYWALL W/ LVL 0 (UNFINISHED), TAPE ALL JOINTS W/ MUDDLESS FIRE-RESISTIVE TAPE.

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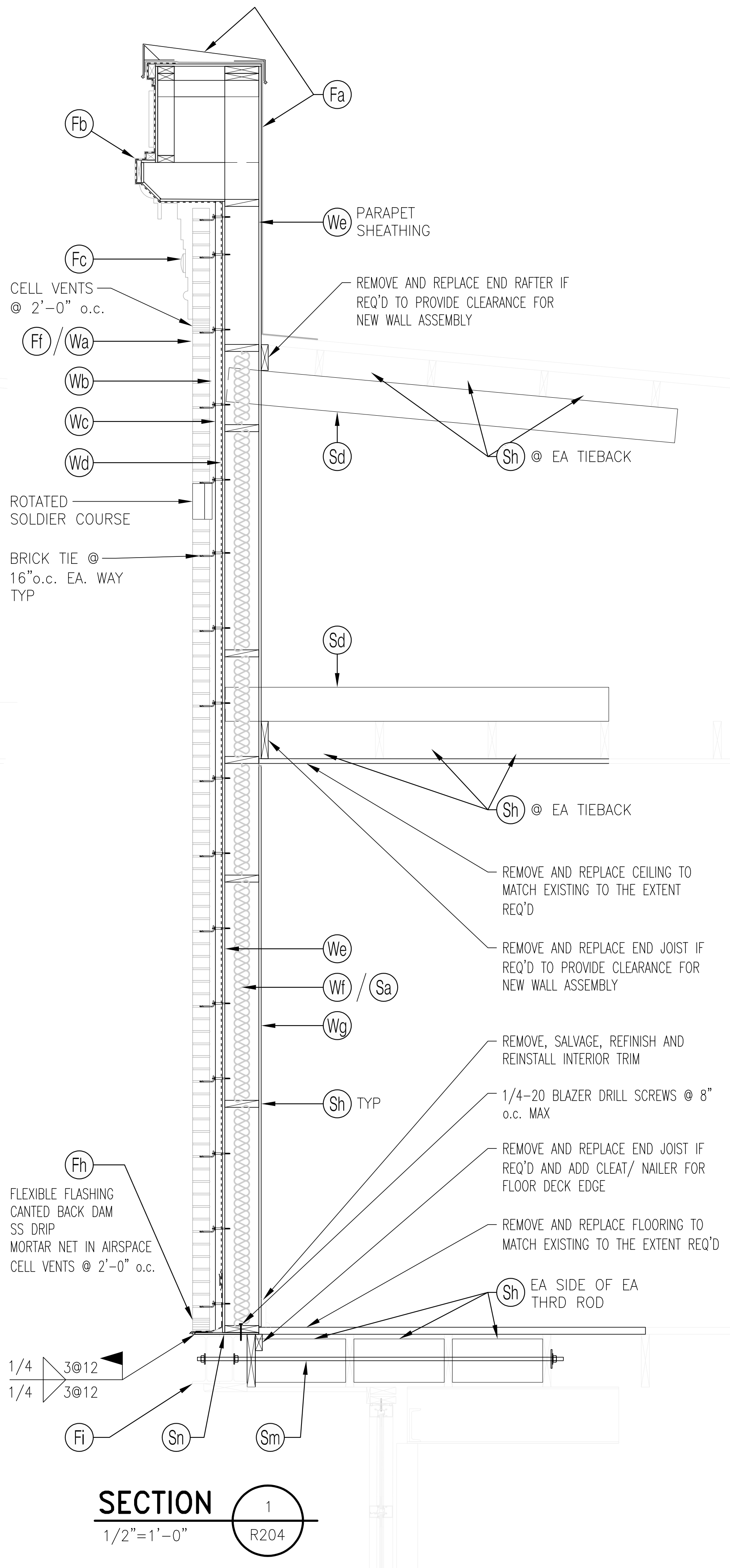
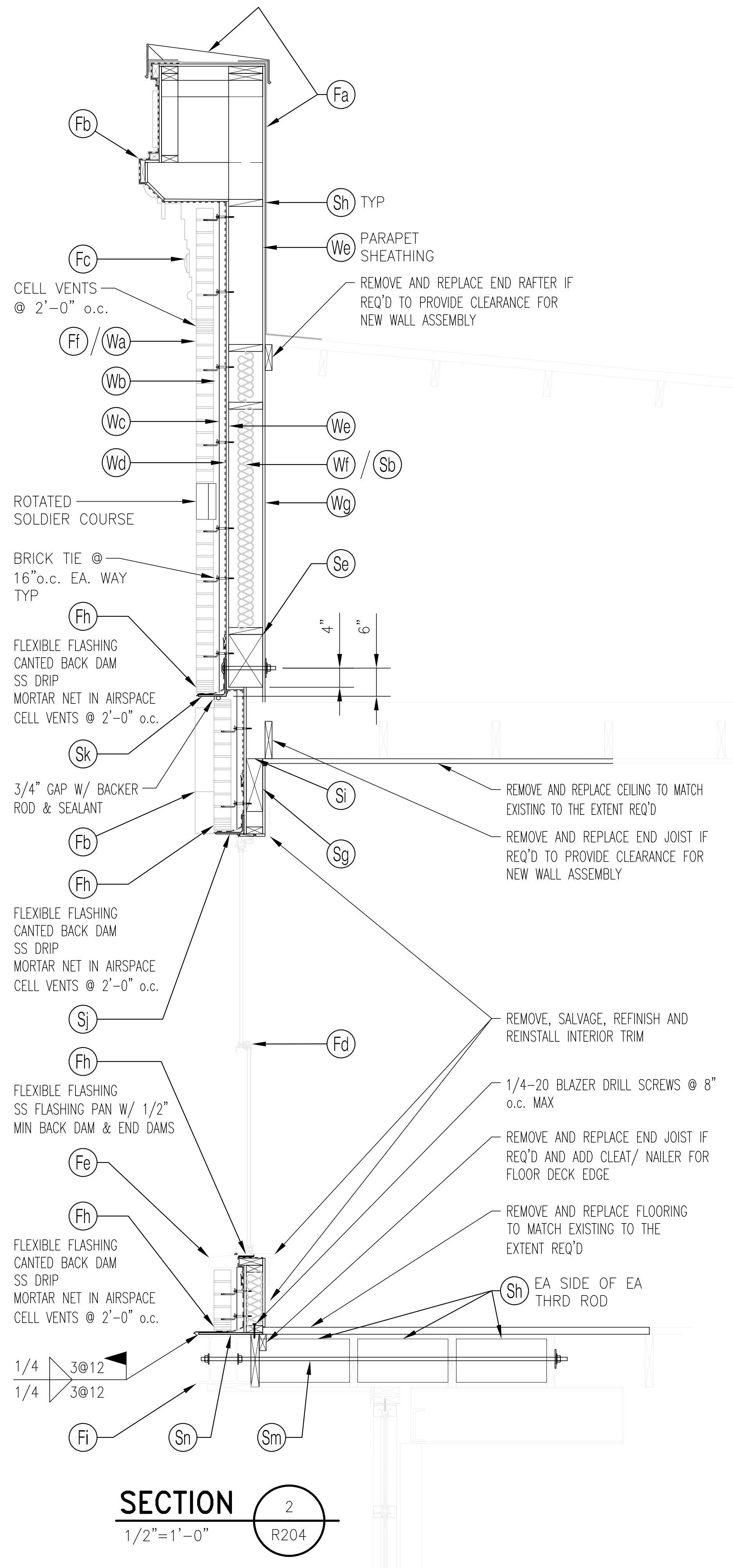
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1	ADDENDUM 01	12/2/24

TITLE
NORTH WALL FRAMING &
WALL ASSEMBLY

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FACADE REPAIR KEYNOTES

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